

**ORDINANCE NO. 7-2016**

**AN ORDINANCE OF THE TOWNSHIP OF ABERDEEN IN THE COUNTY OF MONMOUTH, NEW JERSEY, AUTHORIZING THE ACQUISITION OF EASEMENT INTERESTS, TO SUCH PROPERTIES KNOWN AS BLOCK 50, LOT 1; BLOCK 120, LOT 47; BLOCK 120.01, LOT 1; BLOCK 51, LOT 7 ON THE OFFICIAL TAX MAP OF THE BOROUGH OF MATAWAN, MONMOUTH COUNTY, STATE OF NEW JERSEY AND BLOCK 146, LOT 3 & 5 AND BLOCK 38 LOT 28 ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF ABERDEEN, MONMOUTH COUNTY, STATE OF NEW JERSEY FOR THE PURPOSES OF THE WOODFIELD SANITARY SEWER PROJECT**

**WHEREAS**, pursuant to N.J.S.A. 40:48-2, the Township of Aberdeen (“Township”) is authorized to adopt an Ordinance for the preservation of public health, safety and welfare; and

**WHEREAS**, pursuant to N.J.S.A. 40A:12-1 et seq., the Township has the power to acquire real property and/or interests in land for a public purpose through negotiated agreement or by the exercise of its powers of eminent domain; and

**WHEREAS**, the Township desires to install, repair, operate, test, construct, reconstruct, inspect, use, replace, improve, and/or maintain sanitary sewerage lines (“Utilities”) for the Woodfield Sanitary Sewer Project (the “Project”); and

**WHEREAS**, in order to carry out the Project, it is necessary that the Township acquire easement interests over, upon, through, under and across a portion of properties to access the Utilities and any other appurtenances installed of such lands known as: Block 50, Lot 1; Block 120, Lot 47; Block 120.01, Lot 1; Block 51, Lot 7 on the Official Tax Map of the Borough of Matawan, Monmouth County, New Jersey and Block 146, Lot 3 & 5 and Block 38, Lot 28 on the Official Tax Map of the Township of Aberdeen, Monmouth County, State of New Jersey (the “Properties”), as further described in the metes and bounds descriptions, attached hereto and made a part hereof as **Exhibit A** and as depicted on the maps of the proposed easements attached hereto and made a part hereof as **Exhibit B**; and

**WHEREAS**, the Township Council of the Township of Aberdeen has determined that, since the contemplated Project would improve the sanitary sewerage system throughout the Township, it would serve a public purpose and be to the benefit of the health, welfare and safety of the Township’s citizens for the Township to acquire the Properties and/or any interests thereto; and

**NOW, THEREFORE BE IT ORDAINED**, by the Township Council of the Township of Aberdeen, County of Monmouth and State of New Jersey that:

1. The Township is authorized to acquire by negotiation and/or by the exercise of its power of eminent domain certain lands and/or interests over, upon, through, under and across a portion of such lands known as Block 50, Lot 1; Block 120, Lot 47; Block 120.01, Lot 1; Block 51, Lot 7 on the Official Tax Map of the Borough of Matawan, Monmouth County, New Jersey and Block 146, Lot 3 & 5 and Block 38, Lot 28 on the Official Tax Map of the Township of Aberdeen, Monmouth County, State of

New Jersey (the "Properties"), for the Woodfield Sanitary Sewer Project and the purposes described hereinabove, be and is hereby authorized and approved; and

2. The Township Attorney and the Township Manager are hereby authorized to take any and all actions necessary to acquire the Property and/or any interests thereto, either through negotiation or the exercise of the Township's powers of eminent domain; and

3. Through negotiated agreement the Township shall pay the fair and reasonable consideration for the acquisition of the certain lands and/or interests; and

4. Alternatively, through eminent domain, the Township shall pay the fair market value for the acquisition of the Property and/or any interests thereto, which value shall be determined by an appraisal report prepared on behalf of the Township by a recognized and qualified licensed appraiser; and

5. The Mayor and Township Clerk are hereby authorized to, respectively, execute and witness any documents or instruments necessary to acquire the Property and/or any interests thereto; and

**BE IT FURTHER ORDAINED**, that if any section, paragraph, subsection, clause or provision of this Ordinance shall be adjudged by the courts to be invalid, such adjudication shall apply only to the section paragraph, subsection, clause or provision so adjudicated, and the remainder of the Ordinance shall be deemed valid and effective; and

**BE IT FURTHER ORDAINED**, that any ordinances or parts thereof in conflict with the provisions of this Ordinance are repealed to the extent of such conflict; and

**BE IT FURTHER ORDAINED**, that this Ordinance shall take effect upon passage and publication in accordance with applicable law.

#### **TITLE**

This Ordinance shall be known and may be cited as the Ordinance authorizing the acquisition of all or a portion of the property and/or any interests to such property known as Block 50, Lot 1; Block 120, Lot 47; Block 120.01, Lot 1; Block 51, Lot 7 on the Official Tax Map of the Borough of Matawan, Monmouth County, New Jersey and Block 146, Lot 3 & 5 and Block 38, Lot 28 on the Official Tax Map of the Township of Aberdeen, Monmouth County, State of New Jersey (the "Properties") for purposes of the Woodfield Sanitary Sewer Project.

## **EXHIBIT A**



JOHN H. ALLGAIR, PE, PP, LS (1983-2001)  
DAVID J. SAMUEL, PE, PP, CME  
JOHN J. STEFANI, PE, LS, PP, CME  
JAY B. CORNELL, PE, PP, CME  
MICHAEL J. McCLELLAND, PE, PP, CME  
GREGORY R. VALES, PE, PP, CME

TIMOTHY W. GILLEN, PE, PP, CME  
BRUCE M. KOCH, PE, PP, CME  
LOUIS J. PLOS KONKA, PE, CME  
TREVOR J. TAYLOR, PE, PP, CME  
BEHRAM TURAN, PE, LBRP

October 30, 2015  
File No. P-AB-00320-01  
Lot 1, Block 50  
Borough of Matawan  
N/F Brupat Holdings, LLC

**LEGAL DESCRIPTION**  
**Proposed Temporary Easement**  
**Through a portion of Lot 1, Block 50**  
**Borough of Matawan**  
**Monmouth County, New Jersey**

Temporary Easement

Being an irregular strip of land upon, through and across premises known and designated as Lot 1 in Block 50 on the current Borough of Matawan Tax Map and map entitled "PROPOSED EASEMENT SKETCH THROUGH LOT 47 IN BLOCK 120, LOTS 3 & 4 IN BLOCK 50, AND LOT 1 IN BLOCK 120.01 (BOROUGH OF MATAWAN), LOT 28 IN BLOCK 38 AND LOT 1 IN BLOCK 39 (TOWNSHIP OF ABERDEEN), PREPARED FOR TOWNSHIP OF ABERDEEN, SITUATED IN THE BOROUGH OF MATAWAN AND TOWNSHIP OF ABERDEEN, MONMOUTH COUNTY, NEW JERSEY", Sheet 1 of 1, dated October 30, 2015, being more particularly described as follows:

Commencing at a point, said point being the intersection of the northwesterly line of Lot 49, Block 120 (N/F N.J. Transit Property Management), with the southwesterly Right-of-Way line of State Highway Route No. 34, 80 feet wide, thence, along said northwesterly line of Lot 49, Block 120, in a general southwesterly direction on the arc of a curve to the left having a radius of 5,754.65 feet, a central angle of  $01^{\circ} 16' 57''$ , an arc Length of 128.80 feet, a chord bearing and distance of South  $37^{\circ} 24' 28''$  West 128.80 feet, to the point of BEGINNING for the herein described lands. Said beginning point having New Jersey State Plane Coordinates (NAD 1983) of N. 572,999.0919 feet, E. 566,212.0604 feet, and from said beginning point running:

- 1) Continuing along said northwesterly Right-of-Way line of Lot 49, Block 120, in a general southwesterly direction on the arc of a curve to the left having a radius of 5,754.65 feet, a central angle of  $00^{\circ} 31' 55''$  and an arc length of 53.42 feet, chord bearing and distance of South  $36^{\circ} 30' 02''$  West 53.42 feet, to a point in the common line with Lot 6 (N/F 285 Broad Street, LLC), thence
- 2) Along said common line with Lot 6, Block 50, North  $79^{\circ} 11' 04''$  West, a distance of 258.91 feet to a point in the common line with Lot 5.02, Block 50 (N/F Julio Figueroa, et. al.), thence
- 3) Along the common line with Lot 5.02 and continuing along the common line with Lot 5.01, Block 50 (N/F Kenneth Simmons et. al.) and continuing through Lot 1, Block 50, North  $39^{\circ} 59' 33''$  East, a distance of 155.81 feet to a point, thence

Continuing through Lot 1, Block 50, the following seven (7) courses:

- 4) South  $50^{\circ} 26' 01''$  East, a distance of 84.90 feet to a point, thence
- 5) South  $39^{\circ} 33' 59''$  West, a distance of 6.05 feet to a point, thence
- 6) South  $50^{\circ} 26' 01''$  East, a distance of 27.13 feet to a point, thence
- 7) North  $39^{\circ} 33' 59''$  East, a distance of 6.05 feet to a point, thence
- 8) South  $50^{\circ} 26' 01''$  East, a distance of 36.42 feet to a point, thence
- 9) North  $39^{\circ} 30' 14''$  East, a distance of 21.99 feet to a point, thence



JOHN H. ALLGAIR, PE, PS (1983-2001)  
DAVID J. SAMUEL, PE, PP, CME  
JOHN J. STEFANI, PE, LS, PP, CME  
JAY B. CORNELL, PE, PP, CME  
MICHAEL J. McCLELLAND, PE, PP, CME  
GREGORY R. VALES, PE, PP, CME

TIMOTHY W. GILLEN, PE, PP, CME  
BRUCE M. KOCH, PE, PP, CME  
LOUIS J. PLOSKONKA, PE, CME  
TREVOR J. TAYLOR, PE, PP, CME  
BEHRAM TURAN, PE, LSRP

October 30, 2015  
File No. P-AB-00320-01  
Lot 1, Block 50  
Borough of Matawan  
N/F Brupat Holdings, LLC

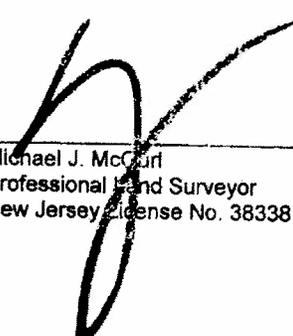
- 10) South  $50^{\circ} 29' 48''$  East, a distance of 74.55 feet to the point and place of beginning.

Said description of the proposed "Temporary Easement" through Lot 1 in Block 50 containing 22,605 Square Feet of land, 0.519 Acre, more or less.

*Said described lands being known as a portion of Lot 1, Block 50, as shown on the official Tax Map of the Borough of Matawan.*

Said described lands being subject to such facts as may be disclosed in a full and accurate title search and survey into the property-in-question and the immediate adjoiners.

Temporary Construction Easement is intended for access to the property and construction of the proposed improvements within said area and shall terminate after completion of construction and acceptance of the project by the Township of Aberdeen.

  
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Michael J. McCurt  
Professional Land Surveyor  
New Jersey License No. 38338

Lot 1, Block 50  
P-AB-00320.01  
Borough of Matawan



October 30, 2015  
File No. P-AB-00320-01  
Lot 1, Block 120.01  
Borough of Matawan  
N/F Hess Realty Corp.

**LEGAL DESCRIPTION**  
**Proposed Temporary Easement**  
**Through a portion of Lot 1, Block 120.01,**  
**Borough of Matawan**  
**Monmouth County, New Jersey**

Temporary Easement

Being an irregular wide strip of land upon, through and across premises known and designated as Lot 1 in Block 120.01 on the current Borough of Matawan Tax Map and map entitled "PROPOSED EASEMENT SKETCH THROUGH LOT 47 IN BLOCK 120, LOTS 3 & 4 IN BLOCK 50, AND LOT 1 ON BLOCK 120.01 (BOROUGH OF MATAWAN), LOT 28 IN BLOCK 38 AND LOT 1 IN BLOCK 39 (TOWNSHIP OF ABERDEEN), PREPARED FOR TOWNSHIP OF ABERDEEN, SITUATED IN THE BOROUGH OF MATAWAN AND TOWNSHIP OF ABERDEEN, MONMOUTH COUNTY, NEW JERSEY", Sheet 1 of 1, dated October 30, 2015, being more particularly described as follows:

Commencing at a point, said point being the intersection of the southeasterly line of Lot 49, Block 120 (N/F N.J. Transit Property Management), and the southwesterly Right-of-Way line of State Highway Route No. 34, 80 feet wide, thence, along said southwesterly Right-of-Way line of State Highway Route No. 34, in a general southeasterly direction on the arc of a curve to the right having a radius of 2,252.01', a central angle of 09° 50' 50", an arc length of 387.04 Feet, a chord bearing and distance of South 35° 52' 52" East 386.57 Feet, to the point of BEGINNING for the herein describe lands. Said beginning point having New Jersey State Plane Coordinates (NAD 1983) of N. 572,749.9936 feet, E. 566,550.4389 feet, and from said beginning point running:

- 1) Along said southwesterly Right-of-Way line of State Route No. 34, in a general southeasterly direction on the arc of a curve to the right having a radius of 2,252.01', a central angle of 02° 34' 59", an arc length of 101.53 Feet, a chord bearing and distance of South 29° 38' 57" East 101.52 Feet, to a point, thence

Through Lot 1, Block 120.01 the following three (3) courses

- 2) South 87° 31' 01" West, a distance of 45.28 feet to a point, thence
- 3) North 30° 14' 05" West, a distance of 118.12 feet to a point, thence
- 4) North 58° 04' 11" East, a distance of 7.87 feet to a point on the southwesterly line of a proposed 20-Foot wide permanent easement, thence

Through Lot 1, Block 120.01, along said Permanent Easement, the following two (2) courses

- 5) South 55° 26' 34" East, a distance of 42.93 feet to a point, thence
- 6) North 56° 15' 47" East, a distance of 14.99 feet to the point and place of beginning.

Said description of the proposed "Temporary Easement" through Lot 1 in Block 120.01 containing 4,366 Square Feet of land, 0.100 Acre, more or less.



JOHN H. ALLGAIR, PE, PS (1983-2001)  
DAVID J. SAMUEL, PE, PP, CME  
JOHN J. STEFANI, PE, LS, PP, CME  
JAY B. CORNELL, PE, PP, CME  
MICHAEL J. McCLELLAND, PE, PP, CME  
GREGORY R. VALES, PE, PP, CME

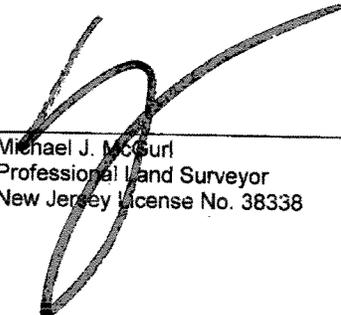
TIMOTHY W. GILLEN, PE, PP, CME  
BRUCE M. KOCH, PE, PP, CME  
LOUIS J. PLOSKONKA, PE, CME  
TREVOR J. TAYLOR, PE, PP, CME  
BEHRAM TURAN, PE, LSRP

October 30, 2015  
File No. P-AB-00320-01  
Lot 1, Block 120.01  
Borough of Matawan  
N/F Hess Realty Corp.

*Said described lands being known as a portion of Lot 1, Block 120.01, as shown on the official Tax Map of the Borough of Matawan.*

Said described lands being subject to such facts as may be disclosed in a full and accurate title search and survey into the property-in-question and the immediate adjoining.

Temporary Construction Easement is intended for access to the property, construction of the proposed improvements within said area and shall terminate after completion of construction and acceptance of the project by the Township of Aberdeen.



Michael J. McCurl  
Professional Land Surveyor  
New Jersey License No. 38338

Lot 1, Block 120.01  
P-AB-00320.01  
Borough of Matawan



JOHN H. ALLGAIR, PE, PP, LS (1983-2001)  
 DAVID J. SAMUEL, PE, PP, CME  
 JOHN J. STEFANI, PE, LS, PP, CME  
 JAY B. CORNELL, PE, PP, CME  
 MICHAEL J. McCLELLAND, PE, PP, CME  
 GREGORY R. VALESI, PE, PP, CME

TIMOTHY W. GILLEN, PE, PP, CME  
 BRUCE M. KOCH, PE, PP, CME  
 LOUIS J. PLOSKONKA, PE, CME  
 TREVOR J. TAYLOR, PE, PP, CME  
 BEHRAM TURAN, PE, LSRP

October 30, 2015  
 File No. P-AB-00320-01  
 Lot 3, Block 146  
 Township of Aberdeen  
 N/F Kara of Madison LLC

**LEGAL DESCRIPTION**  
**Proposed Temporary Easement**  
**Through a portion of Lot 3, Block 146,**  
**Township of Aberdeen**  
**Monmouth County, New Jersey**

Temporary Easement

Being an 20.00-foot wide strip of land upon, through and across premises known and designated as Lot 3 in Block 146 on the current Township of Aberdeen Tax Map and map entitled "PROPOSED EASEMENT SKETCH THROUGH LOTS 3 AND 5 IN BLOCK 146, PREPARED FOR TOWNSHIP OF ABERDEEN, SITUATED IN THE TOWNSHIP OF ABERDEEN, MONMOUTH COUNTY, NEW JERSEY", Sheet 1 of 1, dated October 30, 2015, being more particularly described as follows:

Beginning at a point, said point being the intersection of the common line with Lot 4 (N/F Township of Aberdeen), Block 146, with the northeasterly Right-of-Way line of Grand Avenue, 80 feet wide Right-of-Way, having New Jersey State Plane Coordinates (NAD 1983) of N. 571,734.7725 feet, E. 562,809.6070 feet, and from said beginning point running:

- 1) Along said northeasterly Right-of- Way line of Grand Avenue, North 58° 00' 24" West, a distance of 20.31 Feet to a point, thence  
 Through Lot 3, Block 146, the following two (2) courses
- 2) Parallel with and 20.00 feet northwesterly of, as measured at right angles to, the common line with Lot 4, Block 146, North 41° 59' 36" East, a distance of 40.00 feet to a point, thence
- 3) South 58° 00' 24" East, a distance of 20.31 feet to the common line with Lot 4, Block 146, thence
- 4) Along the common line with Lot 4, South 41° 59' 36" West, a distance of 40.00 feet to the point and place of beginning.

Said description of the proposed "Temporary Easement" through Lot 3 in Block 146 containing 800 Square Feet of land, 0.018 Acre, more or less.

*Said described lands being known as a portion of Lot 3, Block 146, as shown on the official Tax Map of the Township of Aberdeen.*

Said described lands being subject to such facts as may be disclosed in a full and accurate title search and survey into the property-in-question and the immediate adjoiners.

Temporary Construction Easement is intended for access to the property, construction of the proposed improvements within said area and shall terminate after completion of construction and acceptance of the project by the Township of Aberdeen.

\_\_\_\_\_  
 Michael J. McGuff  
 Professional Land Surveyor  
 New Jersey License No. 38338

Lot 3, Block 146  
 P-AB-00320.01  
 Township of Aberdeen



JOHN H. ALLGAIR, PE, PP, LS (1983-2001)  
 DAVID J. SAMUEL, PE, PP, CME  
 JOHN J. STEFANI, PE, LS, PP, CME  
 JAY B. CORNELL, PE, PP, CME  
 MICHAEL J. McCLELLAND, PE, PP, CME  
 GREGORY R. VALES, PE, PP, CME

TIMOTHY W. GILLEN, PE, PP, CME  
 BRUCE M. KOCH, PE, PP, CME  
 LOUIS J. PLOS KONKA, PE, CME  
 TREVOR J. TAYLOR, PE, PP, CME  
 BEHRAM TURAN, PE, LSRP

October 30, 2015  
 File No. P-AB-00320-01  
 Lot 5, Block 146  
 Township of Aberdeen  
 N/F Kara of Madison LLC

**LEGAL DESCRIPTION**  
**Proposed Temporary Easement**  
**Through a portion of Lot 5, Block 146,**  
**Township of Aberdeen**  
**Monmouth County, New Jersey**

**Temporary Easement**

Being an 20.00-foot wide strip of land upon, through and across premises known and designated as Lot 5 in Block 146 on the current Township of Aberdeen Tax Map and map entitled "PROPOSED EASEMENT SKETCH THROUGH LOTS 3 AND 5 IN BLOCK 146, PREPARED FOR TOWNSHIP OF ABERDEEN, SITUATED IN THE TOWNSHIP OF ABERDEEN, MONMOUTH COUNTY, NEW JERSEY", Sheet 1 of 1, dated October 30, 2015, being more particularly described as follows:

Beginning at a point, said point being the intersection of the common line with Lot 4 (N/F Township of Aberdeen), Block 146, with the northeasterly Right-of-Way line of Grand Avenue, 80 feet wide Right-of-Way, having New Jersey State Plane Coordinates (NAD 1983) of N. 571,721.5270 feet, E. 562,830.8098 feet, and from said beginning point running:

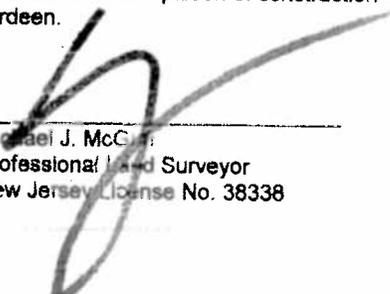
- 1) Along the common line with Lot 4, North 41° 59' 36" East, a distance of 40.00 Feet to a point, thence  
 Through Lot 3, Block 146, the following two (2) courses
- 2) South 58° 00' 24" East, a distance of 20.31 feet to a point, thence
- 3) Parallel with and 20.00 feet southeasterly of, as measured at right angles to, the common line with Lot 4, Block 146, South 41° 59' 36" West, a distance of 40.00 feet to a point on the northeasterly Right-of-Way line of Grand Avenue, thence
- 4) Along said northeasterly Right-of-Way line of Grand Avenue, North 58° 00' 24" West, a distance of 20.31 feet to the point and place of beginning.

Said description of the proposed "Temporary Easement" through Lot 5 in Block 146 containing 800 Square Feet of land, 0.018 Acre, more or less.

*Said described lands being known as a portion of Lot 5, Block 146, as shown on the official Tax Map of the Township of Aberdeen.*

Said described lands being subject to such facts as may be disclosed in a full and accurate title search and survey into the property-in-question and the immediate adjoiners.

Temporary Construction Easement is intended for access to the property, construction of the proposed improvements within said area and shall terminate after completion of construction and acceptance of the project by the Township of Aberdeen.

  
 Michael J. McClelland  
 Professional Land Surveyor  
 New Jersey License No. 38338

Lot 5, Block 146  
 P-AB-00320.01  
 Township of Aberdeen



JOHN H. ALLGAIR, PE, PP, LS (1965-2001)  
 DAVID J. SAMUEL, PE, PP, CME  
 JOHN J. STEFANI, PE, LS, PP, CME  
 JAY B. CORNELL, PE, PP, CME  
 MICHAEL J. McCLELLAND, PE, PP, CME  
 GREGORY R. VALES, PE, PP, CME

TIMOTHY W. GILLEN, PE, PP, CME  
 BRUCE M. KOCH, PE, PP, CME  
 LOUIS J. PLOSKONKA, PE, CME  
 TREVOR J. TAYLOR, PE, PP, CME  
 BEHRAM TURAN, PE, LSRP

October 30, 2015  
 File No. P-AB-00320-01  
 Lot 5, Block 146  
 Township of Aberdeen  
 N/F Kara of Madison LLC

**LEGAL DESCRIPTION**  
**Proposed Temporary Easement**  
**Through a portion of Lot 5, Block 146,**  
**Township of Aberdeen**  
**Monmouth County, New Jersey**

Temporary Easement

Being an 20.00-foot wide strip of land upon, through and across premises known and designated as Lot 5 in Block 146 on the current Township of Aberdeen Tax Map and map entitled "PROPOSED EASEMENT SKETCH THROUGH LOTS 3 AND 5 IN BLOCK 146, PREPARED FOR TOWNSHIP OF ABERDEEN, SITUATED IN THE TOWNSHIP OF ABERDEEN, MONMOUTH COUNTY, NEW JERSEY", Sheet 1 of 1, dated October 30, 2015, being more particularly described as follows:

Beginning at a point, said point being the intersection of the common line with Lot 4 (N/F Township of Aberdeen), Block 146, with the northeasterly Right-of-Way line of Grand Avenue, 80 feet wide Right-of-Way, having New Jersey State Plane Coordinates (NAD 1983) of N. 571,721.5270 feet, E. 562,830.8098 feet, and from said beginning point running:

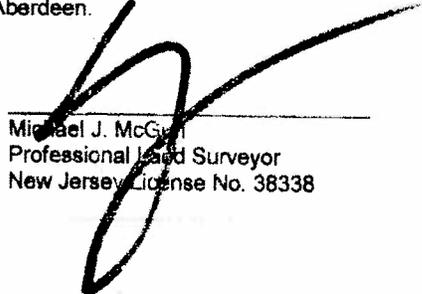
- 1) Along the common line with Lot 4, North 41° 59' 36" East, a distance of 40.00 Feet to a point, thence  
 Through Lot 3, Block 146, the following two (2) courses
- 2) South 58° 00' 24" East, a distance of 20.31 feet to a point, thence
- 3) Parallel with and 20.00 feet southeasterly of, as measured at right angles to, the common line with Lot 4, Block 146, South 41° 59' 36" West, a distance of 40.00 feet to a point on the northeasterly Right-of-Way line of Grand Avenue, thence
- 4) Along said northeasterly Right-of-Way line of Grand Avenue, North 58° 00' 24" West, a distance of 20.31 feet to the point and place of beginning.

Said description of the proposed "Temporary Easement" through Lot 5 in Block 146 containing 800 Square Feet of land, 0.018 Acre, more or less.

*Said described lands being known as a portion of Lot 5, Block 146, as shown on the official Tax Map of the Township of Aberdeen.*

Said described lands being subject to such facts as may be disclosed in a full and accurate title search and survey into the property-in-question and the immediate adjoiners.

Temporary Construction Easement is intended for access to the property, construction of the proposed improvements within said area and shall terminate after completion of construction and acceptance of the project by the Township of Aberdeen.

  
 Michael J. McGlynn  
 Professional Land Surveyor  
 New Jersey License No. 38338

Lot 5, Block 146  
 P-AB-00320.01  
 Township of Aberdeen



October 30, 2015  
File No. P-AB-00320-01  
Lot 28, Block 38  
Township of Aberdeen  
N/F James L. Bricks, et. al.

**LEGAL DESCRIPTION**  
**Proposed Permanent Easement**  
**Through a portion of Lot 28, Block 38,**  
**Township of Aberdeen**  
**Monmouth County, New Jersey**

**Permanent Easement**

Being an 20.00-foot wide strip of land upon, through and across premises known and designated as Lot 28 in Block 38 on the current Township of Aberdeen Tax Map and map entitled "PROPOSED EASEMENT SKETCH THROUGH LOT 47 IN BLOCK 120, LOTS 3 & 4 IN BLOCK 50, AND LOT 1 ON BLOCK 120.01 (BOROUGH OF MATAWAN), LOT 28 IN BLOCK 38 AND LOT 1 IN BLOCK 39 (TOWNSHIP OF ABERDEEN), PREPARED FOR TOWNSHIP OF ABERDEEN, SITUATED IN THE BOROUGH OF MATAWAN AND TOWNSHIP OF ABERDEEN, MONMOUTH COUNTY, NEW JERSEY", Sheet 1 of 1, dated October 30, 2015, being more particularly described as follows:

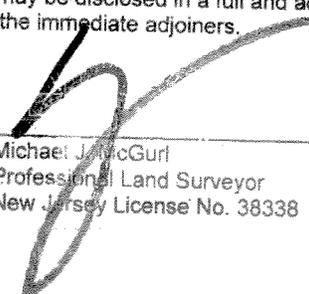
Commencing at a point, said point being the intersection of the common line with Lot 27 (N/F Mary McGloin Jurgensen), Block 38, with the northwesterly Right-of-Way line of Brookview Lane (50-Foot wide Right-of-Way), thence, along said common line, North 30° 39' 51" West, 128.26 Feet to the point of BEGINNING for the herein describe lands. Said beginning point having New Jersey State Plane Coordinates (NAD 1983) of N. 572,871.0230 feet, E. 566,731.7077 feet, and from said beginning point running:

- 1) Through Lot 28, Block 38, South 56° 16' 26" West, a distance of 73.11 Feet to the common line with Lot 1, Block 39 (N/F Township of Aberdeen), thence
- 2) Along said common line with Lot 1, North 35° 38' 18" East, a distance of 56.75 feet to a point, thence
- 3) Through Lot 28, Block 38, parallel with and 20.00 feet northwesterly of, as measured at right angles to, the first course of the herein described permanent easement, North 56° 16' 26" East, a distance of 21.07 feet to the common line with Lot 27, Block 38, thence
- 4) Along said common line with Lot 27, South 30° 39' 51" East, a distance of 20.03 feet to the point and place of beginning.

Said description of the proposed "Permanent Easement" through Lot 28 in Block 38 containing 942 Square Feet of land, 0.022 Acre, more or less.

*Said described lands being known as a portion of Lot 28, Block 38, as shown on the official Tax Map of the Township of Aberdeen.*

Said described lands being subject to such facts as may be disclosed in a full and accurate title search and survey into the property-in-question and the immediate adjoiners.

  
Michael J. McGurl  
Professional Land Surveyor  
New Jersey License No. 38338

Lot 28, Block 38  
P-AB-00320.01  
Township of Aberdeen



JOHN H. ALLGAIR, PE, PP, LS (1983-2001)  
 DAVID J. SAMUEL, PE, PP, CME  
 JOHN J. STEFANI, PE, LS, PP, CME  
 JAY B. CORNELL, PE, PP, CME  
 MICHAEL J. McCLELLAND, PE, PP, CME  
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TIMOTHY W. GILLEN, PE, PP, CME  
 BRUCE M. KOCH, PE, PP, CME  
 LOUIS J. PLOSKONKA, PE, CME  
 TREVOR J. TAYLOR, PE, PP, CME  
 BEHRAM TURAN, PE, LSRP

October 30, 2015  
 File No. P-AB-00320-01  
 Lot 7, Block 51  
 Borough of Matawan  
 N/F AI Property Management, LLC

**LEGAL DESCRIPTION**  
**Proposed Temporary Construction Easement**  
**Through a portion of Lot 7, Block 51**  
**Borough of Matawan**  
**Middlesex County, New Jersey**

**Temporary Construction Easement**

Being an irregular strip of land upon, through and across premises known and designated as Lot 7 in Block 51 on the current Borough of Matawan Tax Map and map entitled "PROPOSED EASEMENT SKETCH THROUGH LOT 7, BLOCK 51, PREPARED FOR TOWNSHIP OF ABERDEEN, SITUATED IN THE BOROUGH OF MATAWAN, MONMOUTH COUNTY, NEW JERSEY", Sheet 1 of 1, dated October 30, 2015, being more particularly described as follows:

Beginning at a point, said point being the intersection of the northeasterly Right-of-Way line of Sutphin Avenue (Variable Width R.O.W.) with the northerly line of Lot 64, Block 119, N/F NJ Transit Property Management. Said beginning point having New Jersey State Plane Coordinates (NAD 1983) of N. 571,433.3248 feet, E. 565,126.9198 feet, and from said beginning point running:

- 1) Along said northeasterly Right-of-Way line of Sutphin Avenue, North 37° 32' 12" West, a distance of 57.46 feet to a point, thence  
 Through Lot 7, Block 51, the following three (3) courses:
- 2) North 52° 27' 48" East, a distance of 47.17 feet to a point, thence
- 3) North 86° 38' 09" East, a distance of 24.28 feet to a point, thence
- 4) South 55° 24' 01" East, a distance of 21.08 feet to the northwesterly line of Lot 64, Block 119, thence
- 5) Along said northwesterly line of Lot 64, Block 119, South 34° 35' 59" West, a distance of 77.46 feet the point and place of beginning.

Said description of the proposed "Temporary Construction Easement" through Lot 7 in Block 51 containing 3070 Square Feet of land, 0.070 Acre, more or less.

*Said described lands being known as a portion of Lot 7, Block 51, as shown on the official Tax Map of the Borough of Matawan.*

Said described lands being subject to such facts as may be disclosed in a full and accurate title search and survey into the property-in-question and the immediate adjoiners.

Temporary Construction Easement is intended for access to the property, construction of the proposed improvements within said area and shall terminate after completion of construction and acceptance of the project by the Township of Aberdeen.

Michael E. McGuffee  
 Professional Land Surveyor  
 New Jersey License No. 38338

Lot 7, Block 51  
 P-AB-00320.01  
 Borough of Matawan



October 30, 2015  
File No. P-AB-00320-01  
Lot 47, Block 120  
Borough of Matawan  
N/F Jersey Central Power & Light Co.

**LEGAL DESCRIPTION**  
**Proposed Permanent Easement**  
**Through a portion of Lot 47, Block 120,**  
**Borough of Matawan**  
**Monmouth County, New Jersey**

**Permanent Easement**

Being a 20.00-foot wide strip of land upon, through and across premises known and designated as Lot 47 in Block 120 on the current Borough of Matawan Tax Map and map entitled "PROPOSED EASEMENT SKETCH THROUGH LOT 47 IN BLOCK 120, LOTS 3 & 4 IN BLOCK 50, AND LOT 1 ON BLOCK 120.01 (BOROUGH OF MATAWAN), LOT 28 IN BLOCK 38 AND LOT 1 IN BLOCK 39 (TOWNSHIP OF ABERDEEN), PREPARED FOR TOWNSHIP OF ABERDEEN, SITUATED IN THE BOROUGH OF MATAWAN AND TOWNSHIP OF ABERDEEN, MONMOUTH COUNTY, NEW JERSEY", Sheet 1 of 1, dated October 30, 2015, being more particularly described as follows:

Commencing at a point, said point being the intersection of the southeasterly line of Lot 49, Block 120 (N/F N.J. Transit Property Management), and the southwesterly Right-of-Way line of State Highway Route No. 34, 80 feet wide, thence, along said southeasterly line of Lot 49, Block 120, in a general southwesterly direction on the arc of a curve to the left having a radius of 5,704.65', a central angle of 1° 14' 29", an arc length of 123.61 Feet, a chord bearing and distance of South 37° 20' 06" West 123.61 Feet, to the point of BEGINNING for the herein describe lands. Said beginning point having New Jersey State Plane Coordinates (NAD 1983) of N. 572,964.9872 feet, E. 566,248.9964 feet, and from said beginning point running:

- 1) Through Lot 47, Block 120, South 55° 26' 34" East, a distance of 191.65 feet to a point in the centerline of the Gravelly Brook, thence  
  
Southerly, along the centerline of said Gravelly Brook, the various courses thereof, the following two courses:
- 2) South 13° 15' 52" West, a distance of 9.61 feet to a point, thence
- 3) South 8° 22' 14" East, a distance of 15.09 feet to a point, thence
- 4) Through Lot 47, Block 120, parallel with and 20.00 feet southwesterly of, as measured at right angles to, the first course of the herein described permanent easement, North 55° 26' 34" West, a distance of 206.13 feet to the common line with Lot 49, Block 120, thence
- 5) Along said common line with Lot 49, in a general northeasterly direction on the arc of a curve to the right having a radius of 5,704.65', a central angle of 0° 12' 04", an arc length of 20.02 Feet, a chord bearing and distance of North 36° 36' 49" East, 20.01 Feet, to the point and place of beginning.

Said description of the proposed "Permanent Easement" through Lot 47 in Block 120 containing 3,951 Square Feet of land, 0.091 Acre, more or less.



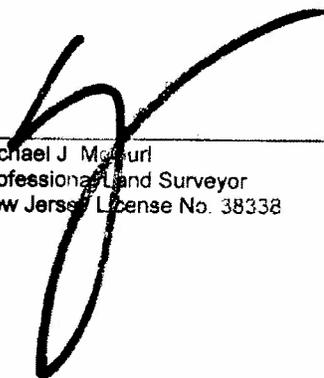
JOHN H. ALLGAIR, PE, PP, LS (1993-2001)  
DAVID J. SAMUEL, PE, PP, CME  
JOHN J. STEFANI, PE, LS, PP, CME  
JAY B. CORNELL, PE, PP, CME  
MICHAEL J. McCLELLAND, PE, PP, CME  
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TIMOTHY W. GILLEN, PE, PP, CME  
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TREVOR J. TAYLOR, PE, PP, CME  
BEHRAM TURAN, PE, LSRP

October 30, 2015  
File No. P-AB-00320-01  
Lot 47, Block 120  
Borough of Matawan  
N.J. Jersey Central Power & Light Co.

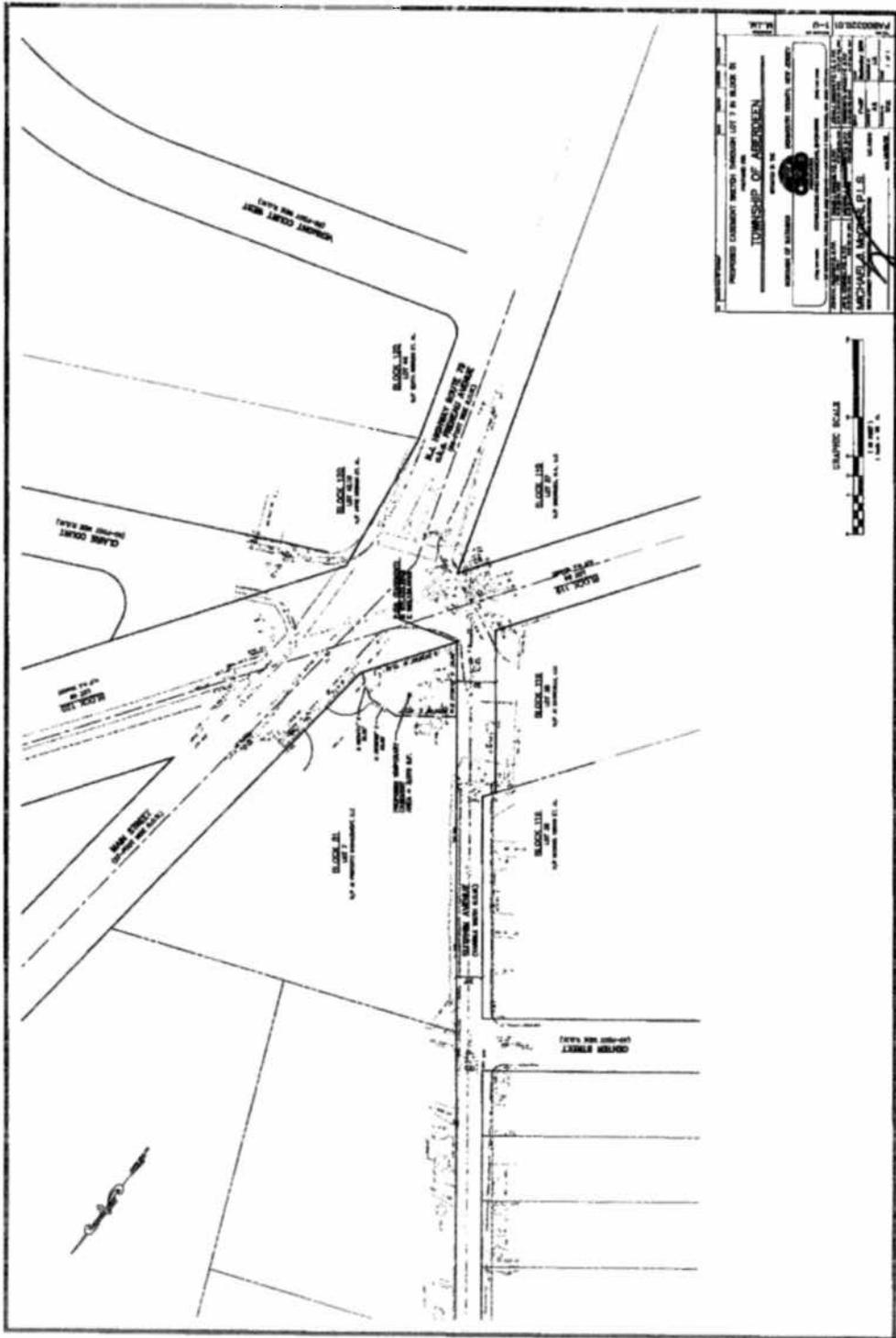
*Said described lands being known as a portion of Lot 47, Block 120, as shown on the official Tax Map of the Borough of Matawan.*

Said described lands being subject to such facts as may be disclosed in a full and accurate title search and survey into the property-in-question and the immediate adjoiners.

  
\_\_\_\_\_  
Michael J. McMurli  
Professional Land Surveyor  
New Jersey License No. 38338

Lot 47, Block 120  
P-AB-00320-01  
Borough of Matawan

## **EXHIBIT B**



PROJECTED CEMENTED PAVEMENT LAY 1 IN BLOCK 16  
 TOWNSHIP OF ABERDEEN  
 COUNTY OF WASHINGTON  
 STATE OF MARYLAND  
 MARYLAND RECORDS FILE  
 RECORD NUMBER  
 DATE  
 DRAWN BY  
 CHECKED BY  
 APPROVED BY  
 TITLE  
 SHEET NO. 1 OF 1  
 SCALE  
 1" = 40'

